

Village of Canal Winchester

Commercial Development
Standards

Adopted on January 5, 2009
Effective: February 4, 2009

Purpose

Canal Winchester's interest in regulating the design of individual non-residential buildings and sites is determined in part by the extent to which they affect the public realm and the high quality character desired by the community. The municipality therefore has a responsibility to maintain a high quality public realm and character. These Commercial Development Standards were prepared and adopted in pursuit of those goals.

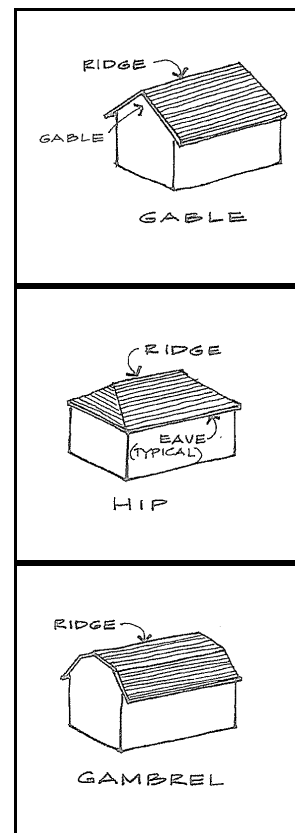
The purpose of these Commercial Development Standards is to protect the municipality's character and to preserve a high quality built environment through Canal Winchester. All new non-residential projects require the developer to satisfy these Commercial Development Standards in addition to the applicable Zoning Code and Subdivision Regulation requirements.

Standards

1. Architectural Features: Roof Lines
One-story buildings of less than 10,000 sq. ft. of gross floor area shall have a pitched roof to be of dimensional shingles, standing seam metal, slate or simulated slate. The roof line of multi-story buildings, regardless of size, shall be designed to screen all rooftop equipment, such as mechanical equipment and satellite antennas, from view at all property lines on which the building is located.

If two or more multi-story buildings are located on the same property, rooftop equipment shall not be visible at ground level within 50 feet from the building.

Example Of Roof Types For One-Story Buildings Less Than 10,000 sq. ft.



2. Four-Sided Architectural Requirements

Buildings shall be designed to be seen from 360 degrees with the same caliber of finish on all facades / elevations. Building additions, whether attached or detached, shall be of similar design, materials, and construction except if located in the historic district.

- a. The purpose of requiring four-sided architecture is to avoid large areas of blank exterior. Off-street loading zone areas are excluded from this requirement. For every 100 ft. of elevation width, each side and rear elevation must contain at least two (2) design elements and each front elevation must contain at least three (3) design elements. For multi-story buildings, it is preferable that each story on a single elevation contains at least one (1) design element. Typical design elements are as follows are included below, but this list is not all-inclusive.
- b. The eligible design elements are as follows:
 - ☐ A door of at least 28 square feet in area with an awning, a faux window or other amenity subject to approval by the Planning and Zoning Commission.
 - ☐ A window of at least six (6) square feet in area. Windows closer than ten (10) feet shall be considered as one (1) element. A set of adjacent windows, such as double or bay windows, shall be considered as one element.
 - ☐ A chimney.
 - ☐ An articulated gable vent of at least four (4) square feet in area.
 - ☐ Porches, decks or similar structure.
 - ☐ A similar significant permanent architectural feature consistent with the style of the building only upon prior approval by the Planning and Zoning Commission.
- c. For multi-tenant buildings designed with rear elevation service doors, the rear of buildings are to have the name of each business, maximum of 6-inch lettering, on the rear service door or perhaps on an awning over the door.

3. Building Materials

All exterior walls shall comprise of 80% natural material with brick as the predominant material. Stone or other natural material should also be incorporated into the building's exterior design. Use of "newer" materials is subject to approval by the Planning and Zoning Commission. Stucco, drivit and like materials may be used as accents provided the total square footage of accent material does not exceed 20% of the gross exterior building wall square footage.

Desired Architectural Styles

4. Maximum Lot Coverage

The maximum lot coverage for a commercial development shall be as follows: twenty-five percent (25%) in the NC District, and forty-five percent (45%) in the GC district. This requirement shall not apply to commercial zoned properties in the Downtown Area as defined in Appendix E of the Canal Winchester Zoning Code.

5. Mechanical Equipment To Be Screened:

All external mechanical equipment, including satellite antennas, shall be screened from view at all property lines on which the building is located. Screening materials are to be similar to or the same as used on the majority of the building. For ground mounted equipment, landscaping is the preferred method. If two or more buildings are located on the same property, rooftop equipment shall not be visible at ground level within 50 feet from the building.

6. Massing and Setback:

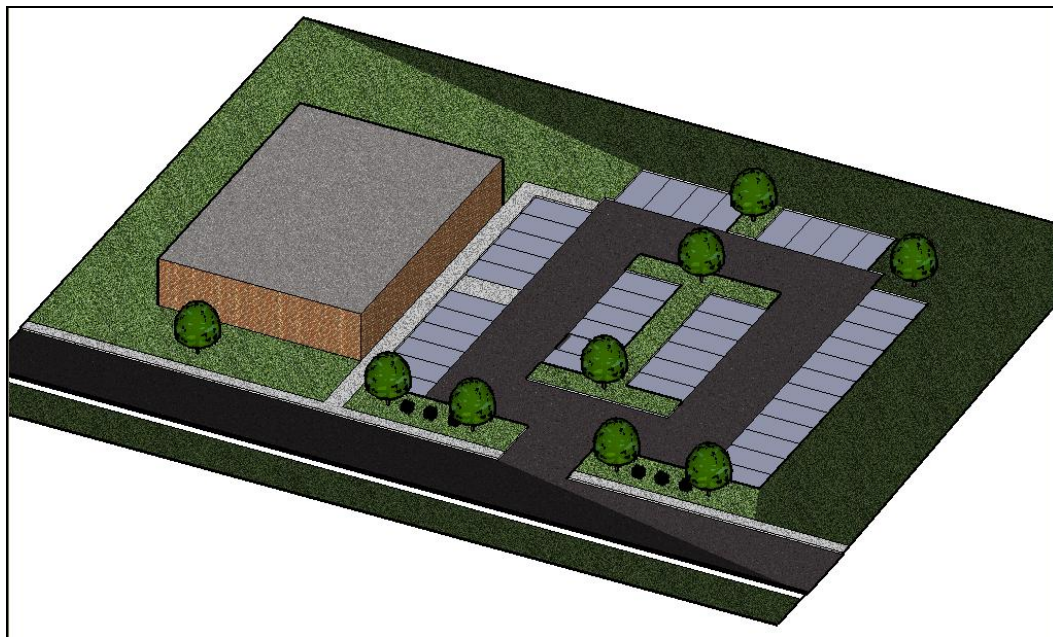
To promote quality streets, buildings are required to meet build-to lines along public roadway frontages. In order to achieve quality streetscapes, variation from the build-to line will add interest to the built edge along the streetscape. This variation of the build-to line allows for added green space, amenities, outdoor seating and the like. However, it is not to be used for additional parking spaces. Buildings can be no closer than the established build-to line no matter the height of the building. This relationship shall adhere to the following schedule:

<u>Building Height</u>	<u>Variation of Build To Line</u>
1 – Story	May vary build-to line requirement 1 ft. to 4 ft.
2 – Story	May vary build-to line requirement 1 ft. to 8 ft.
3 – Story	May vary build-to line requirement 1 ft. to 15 ft.
4 - Story	May vary build-to line requirement 1 ft. to 20 ft.



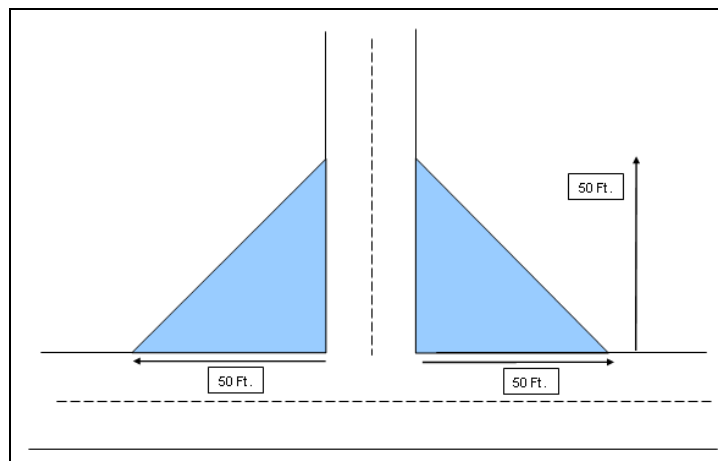
7. Parking Lot - Design:

Parking lot areas shall be designed to reduce its visual impact, and its on heat and excessive drainage due to its durable surface. Appropriately sized landscaped areas shall be provided within each parking lot area allowing for a variety of shade trees to be planted that will not buckle the parking lot's surface and at the same time provide shade. Therefore, all off-street parking lot area shall be designed using the "parking bay" concept, which consists of parking spaces grouped together and each parking bay separated by landscaped tree islands.



- a. All developments shall comply with the minimum number of parking spaces in accordance with Chapter 1185. When not in conflict with Chapter 1185, off-street parking shall also be provided at a maximum ratio of one (1) space per two hundred fifty (250) sq. ft. of gross floor area minus storage areas.
- b. No parking bay shall contain more than 22 total parking spaces, with a maximum of 11 spaces in a single row.
- c. Each landscaped tree island shall have a minimum area of 324 sq. ft., with a minimum width of 9 feet. The landscaped tree island shall contain at least one shade tree and include other plant materials.
- d. Bioswales, also referred to as rain gardens, may be incorporated in the overall parking lot design. In addition to separating parking bays, when properly designed bioswales/ rain gardens can also assist with stormwater quality and quantity management.
- e. A developer may request to have additional parking spaces than allowed. If approved by the Planning and Zoning Commission, an additional 200 sq. ft. of landscaping must be provided for every five (5) additional parking spaces, or portion thereof. This additional landscaping shall include a mix of trees and shrubs and be clearly identified as additional landscaping on the site's landscaping plan, which must also be approved by the Planning and Zoning Commission.
- f. When a drive isle intersects with an internal service road, nothing shall materially impede the vision between a height of 2 ½ feet and 10 feet for the area bounded by the intersecting street lines of those roadways and a line joining points along said roadways 50 feet from the point of intersection

Drive Isle Clear Site Distance



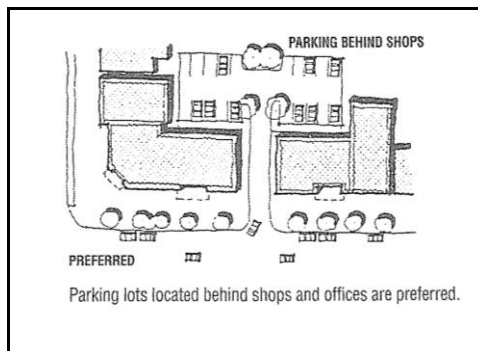
8. Parking Lot – Lighting:

- c. Lighting Requirements – Pack light, wall pack lights and similar lights that primarily shine perpendicular to (away from) a building's elevation are not permitted on any building elevation. Decorative wall lights that shine parallel to (up or down) a building's elevation are subject to approval by the Planning and Zoning Commission.
- d. Lighting Intensity: Foot Candles (fc): Foot Candles measures the intensity of light. One fc is equal to the amount of light generated by one candle shining on a square foot surface one foot away. All parking lot areas shall have an average intensity of one (1) fc as measured at the parking surface with a maximum of five (5) fc per any one light fixture and a maximum uniformity ratio of 5:1.
- e. Light Spillage: All outdoor lighting shall be directed, reflected or shielded so as not to be of excessive brightness or cause glare hazardous to pedestrians or drivers, create a nuisance or unreasonably interfere with a neighboring property owner's right to enjoy his property. Light spillage shall not exceed 0.2 fc when adjacent to a commercial district or 0.1 fc when adjacent to a residential district or existing residential use.
- f. Light Pole Height: Pole heights should respond to the parcel, building and parking lot size as well as the surrounding area. For example, smaller parcels in a more dense condition pole height should be limited in height to respond to the smaller parcels and more human scale of the site. In large commercial centers with large building footprints, parcels and parking lots, the pole heights can be higher to reduce the number of poles needed to adequately light the site. Requiring shorter light poles on a large lot may result in accentuating the size of the parking lot when the community is typically working to minimize the impact of parking. Therefore, the following light pole height schedule shall be followed.

<u>Parking Lot Size</u>	<u>Maximum Pole Height</u>
Single Parking Bay	12 feet to 16 feet
Multiple Parking Bays	20 feet to 30 feet

9. Parking Lot - Location:

- a. A building's parking lot area shall be located behind the building, or in the case of shared parking, between the buildings to heighten the attractiveness of the area and lessen the safety concern of pedestrians. All parking lot areas shall have a landscape plan to screen the parking lot areas from any public or private road.
- b. Service areas and loading docks servicing buildings shall not be oriented towards any public or private road.

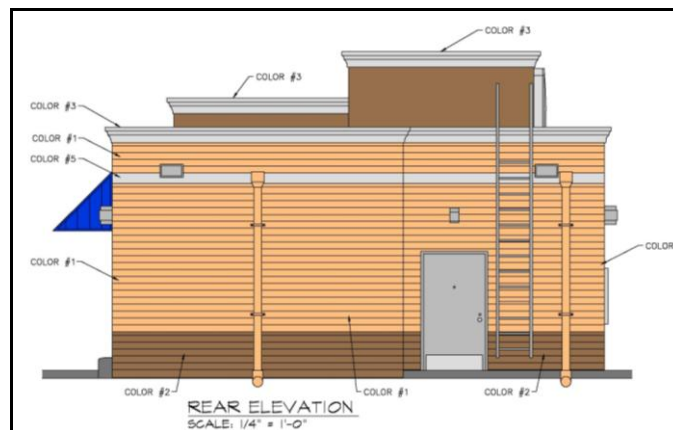


10. Signs:

- a. All individual business signs shall be a monument-type sign having a base consistent with the primary building material and a minimum of 50 sq. ft. of year-round landscaping around all sides of the monument sign.
- b. For multi-tenant buildings, signs for first floor tenants shall not extend above the window sill of the second story unless the tenant is also located on the second floor.
- c. A No plastic, neon or interior illuminated signs.

11. Site Design:

- a. **Build-To Line:** require build-to lines instead of a front setback requirement. Be sure this does not interfere with public utilities in the public right-of-way and the new street tree/lawn area currently under review by the Technical Review Group.
- b. Prohibit pavement right up to any building elevation, except for loading zone areas. This does not apply to entrance walk ways (public or private) into the building.
- c. Trash and loading zone areas are permitted on the side of a building if properly screened from the public or private street.
- d. Utility boxes are to be to the rear of the building. They are to be painted the same, or primary, color of the building elevation where the utility box is located.

**12. Storm Water Maintenance, Detention Basins**

Dry detention basins are not permitted. All detention basins shall be wet basins and may require aeration devices in their design. The requirement of aeration devices and their installation detail shall be determined and approved by the Technical Review Group.

Bioretention basins, also known as rain gardens, may be used only when approved by the municipality.

13. Use Of Glass (on front or side building elevations)

The use of glass on the front or side elevation of a commercial or office building can not be black, gold, green, silver, or any other reflective colored glass as determined by the Planning and Zoning Commission. If a building's elevation consists of more than 80% glass, mullions must be used to break up the "glass look."